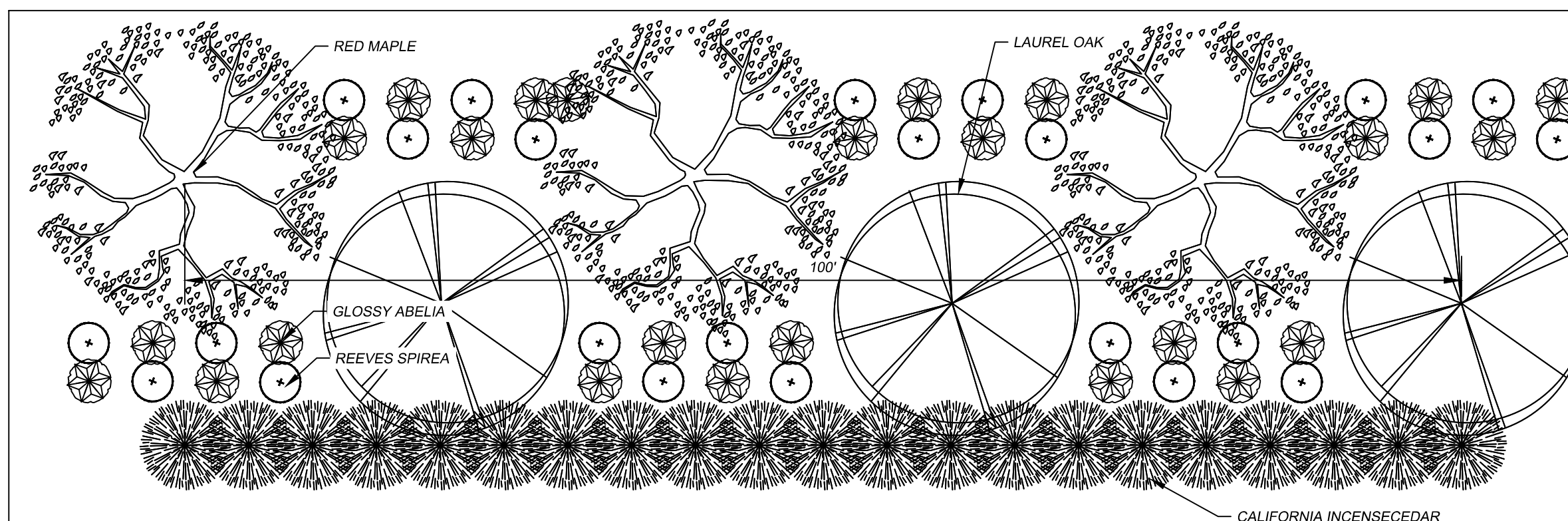


VICINITY MAP (NTS)



TYPICAL 50' BUFFER (NTS)

SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF MONROE
TAX PARCEL(S)	09264023B
DEED BOOK AND PAGE:	6498, PG 025
SITE ADDRESS:	N CHARLOTTE AVE
ZONING	CONDITIONAL DISTRICT
PROPOSED ZONING	CONDITIONAL DISTRICT "BRAEMAR VILLAGE"
TOTAL AREA	+/- 12.9 ACRES
LOTS	21 LOTS
TOTAL LOTS	90 LOTS
DENSITY	6.98 UNITS/ ACRE
AREA IN LOTS	4.81 ACRES
OPEN SPACE AREA PROVIDED	5.12 ACRES (40% OPEN SPACE)
SETBACKS IN CONDITIONAL DISTRICT	
MINIMUM FRONT SETBACK	20'
MINIMUM CORNER/SIDE SETBACK	5'
MINIMUM REAR SETBACK	10'
MINIMUM LOT SIZE	1,800 SQ. FT.
MINIMUM LOT WIDTH	21'

**SITE DEVELOPMENT NOTES**

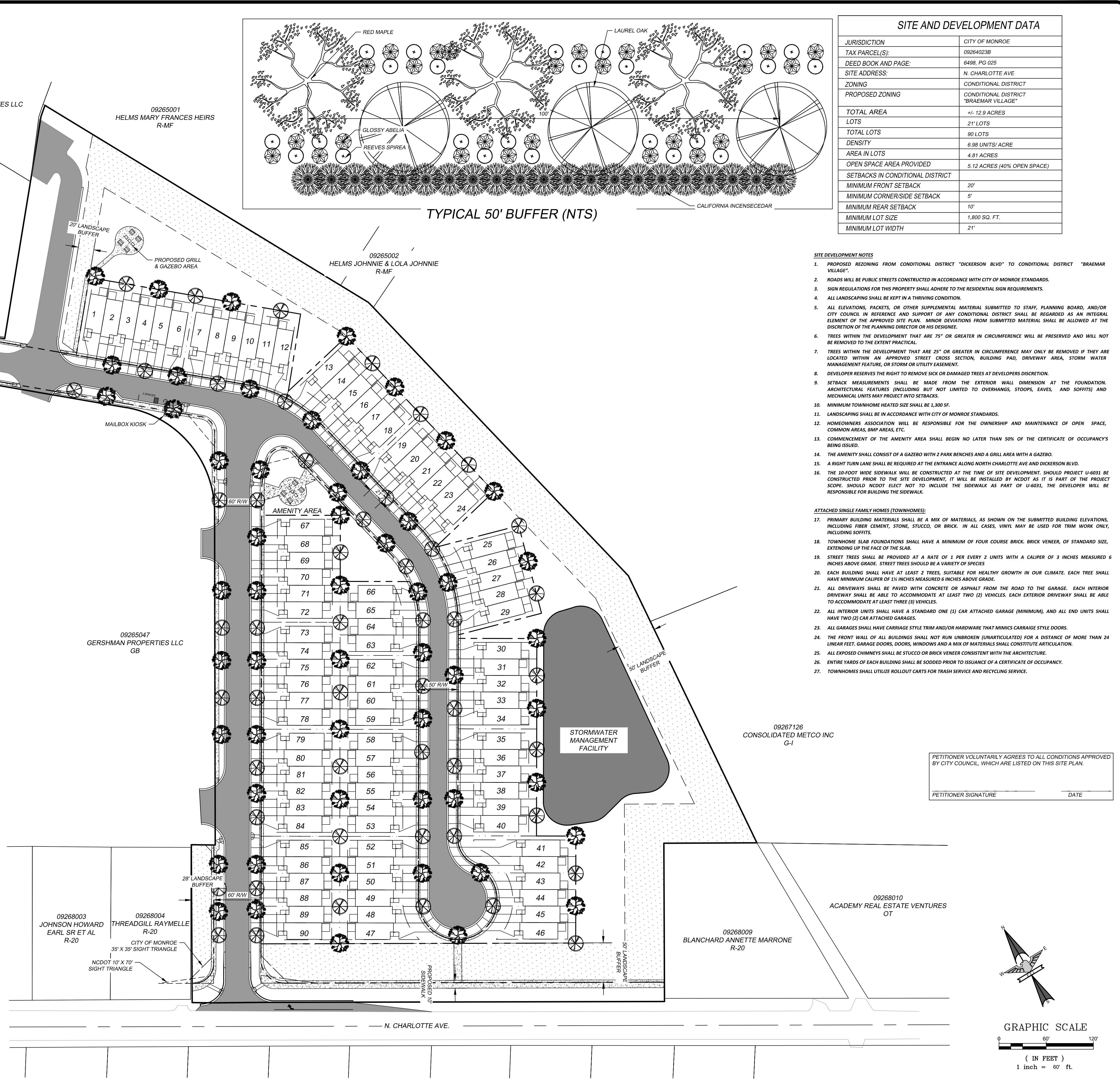
- PROPOSED REZONING FROM CONDITIONAL DISTRICT "DICKERSON BLVD" TO CONDITIONAL DISTRICT "BRAEMAR VILLAGE".
- ROADS WILL BE PUBLIC STREETS CONSTRUCTED IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
- SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
- ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
- TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE WILL BE PRESERVED AND WILL NOT BE REMOVED TO THE EXTENT PRACTICAL.
- TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORM WATER MANAGEMENT FEATURE, OR STORM OR UTILITY EASEMENT.
- DEVELOPER RESERVES THE RIGHT TO REMOVE SICK OR DAMAGED TREES AT DEVELOPERS DISCRETION.
- SETBACK MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR WALL DIMENSION AT THE FOUNDATION. ARCHITECTURAL FEATURES (INCLUDING BUT NOT LIMITED TO OVERHANGS, STOOPS, EAVES, AND SOFFITS) AND MECHANICAL UNITS MAY PROJECT INTO SETBACKS.
- MINIMUM TOWNHOME HEATED SIZE SHALL BE 1,300 SF.
- LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
- HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.
- COMMENCEMENT OF THE AMENITY AREA SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATE OF OCCUPANCY BEING ISSUED.
- THE AMENITY AREA SHALL CONSIST OF A GAZEBO WITH 2 PARK BENCHES AND A GRILL AREA WITH A GAZEBO.
- A RIGHT TURN LANE SHALL BE REQUIRED AT THE ENTRANCE ALONG NORTH CHARLOTTE AVE AND DICKERSON BLVD.
- THE 10-FOOT WIDE SIDEWALK WILL BE CONSTRUCTED AT THE TIME OF SITE DEVELOPMENT. SHOULD PROJECT U-6031 BE CONSTRUCTED PRIOR TO THE SITE DEVELOPMENT, IT WILL BE INSTALLED BY NCDOT AS IT IS PART OF THE PROJECT SCOPE. SHOULD NCDOT ELECT NOT TO INCLUDE THE SIDEWALK AS PART OF U-6031, THE DEVELOPER WILL BE RESPONSIBLE FOR BUILDING THE SIDEWALK.

**ATTACHED SINGLE FAMILY HOMES (TOWNHOMES):**

- PRIMARY BUILDING MATERIALS SHALL BE A MIX OF MATERIALS, AS SHOWN ON THE SUBMITTED BUILDING ELEVATIONS, INCLUDING FIBER CEMENT, STONE, STUCCO, OR BRICK. IN ALL CASES, VINYL MAY BE USED FOR TRIM WORK ONLY, INCLUDING SOFFITS.
- TOWNHOME SLAB FOUNDATIONS SHALL HAVE A MINIMUM OF FOUR COURSE BRICK, BRICK VENEER, OF STANDARD SIZE, EXTENDING UP THE FACE OF THE SLAB.
- STREET TREES SHALL BE PROVIDED AT A RATE OF 1 PER EVERY 2 UNITS WITH A CALIPER OF 3 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES
- EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
- ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH INTERIOR DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES. EACH EXTERIOR DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST THREE (3) VEHICLES.
- ALL INTERIOR UNITS SHALL HAVE A STANDARD ONE (1) CAR ATTACHED GARAGE (MINIMUM), AND ALL END UNITS SHALL HAVE TWO (2) CAR ATTACHED GARAGES.
- ALL GARAGES SHALL HAVE CARRIAGE STYLE TRIM AND/OR HARDWARE THAT MIMICS CARRIAGE STYLE DOORS.
- THE FRONT WALL OF ALL BUILDINGS SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. GARAGE DOORS, DOORS, WINDOWS AND A MIX OF MATERIALS SHALL CONSTITUTE ARTICULATION.
- ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEER CONSISTENT WITH THE ARCHITECTURE.
- ENTIRE YARDS OF EACH BUILDING SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TOWNHOMES SHALL UTILIZE ROLLTOP CARTS FOR TRASH SERVICE AND RECYCLING SERVICE.

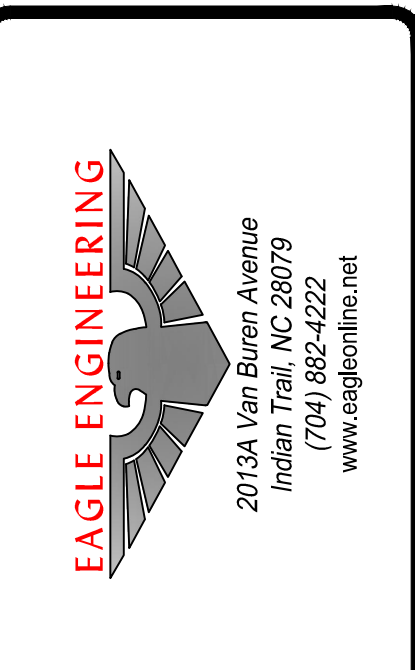
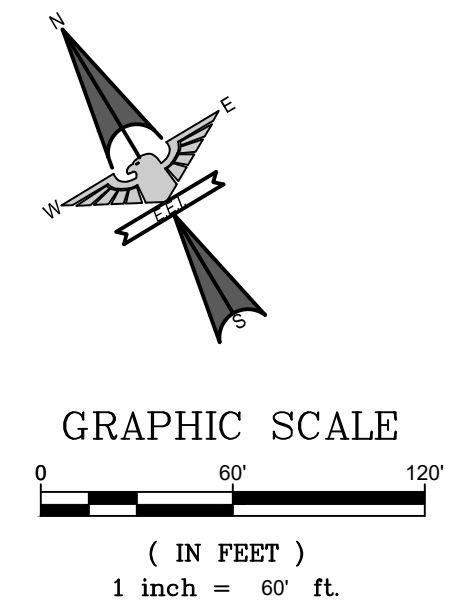
PLANT SCHEDULE			
COMMON NAME	BOTANICAL NAME	HT	
<b>TREES (CANOPY)</b>			
	RED MAPLE	ACER RUBRUM	40'-60'
	LAUREL OAK	QUERCUS LAURIFOLIA	40'-50'
<b>TREES (EVERGREEN)</b>			
	CALIFORNIA INCENSECEDAR	CALOCEDRUS DECURRENS	40'-50'
<b>SHRUBS</b>			
	GLOSSY ABELIA	ABELIA x GRANDIFLORA 'KALEIDOSCOPE'	24" MIN
	REEVES SPIREA	SPIRAEA CANTONIENSIS	12"
	BOXWOOD	BUXUS x 'GREEN MOUNTAIN'	24" MIN

- GENERAL PROVISIONS:**
- DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THIS CONDITIONAL ZONING PLAN, DEVELOPMENT STANDARDS, AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE (UDO).
  - THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, AND OTHER SITE ELEMENTS SET FORTH ON THE ZONING SITE PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT AND SITE ELEMENTS PROPOSED AND MAY BE ALTERED SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR.
  - EAGLE ENGINEERING IS NOT A LICENSED ARCHITECTURAL LANDSCAPE FIRM. ALL FINAL PLANT AND TREE SELECTION SHALL BE COORDINATED WITH THE DEVELOPER AND THE CITY OF MONROE PRIOR TO INSTALLATION. FINAL SELECTION OF SPECIES IS SUBJECT CITY OF MONROE APPROVAL AND ANY SPECIAL INSTALLATION REQUIRED SHALL BE BY OTHERS.
  - ZONING IS TO BE CHANGED FROM CD TO CONDITIONAL DISTRICT "BRAEMAR VILLAGE"



PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



PRELIMINARY  
NOT FOR  
CONSTRUCTION

NO.	DATE	BY	ISSUE
1	4/14/2021	BLD	REVISED PER CITY COUNCIL COMMENTS

BRAEMAR VILLAGE  
MONROE, NC

CAROLINA DEVELOPMENT SERVICES, LLC  
2627 BRECKENRIDGE CENTRE DR  
MONROE, NC 28110

DESIGNED BY	CHECKED BY
BLD	MCK
DATE	JOB NUMBER
01/22/2021	7208
AS SHOWN	