

(N/T)

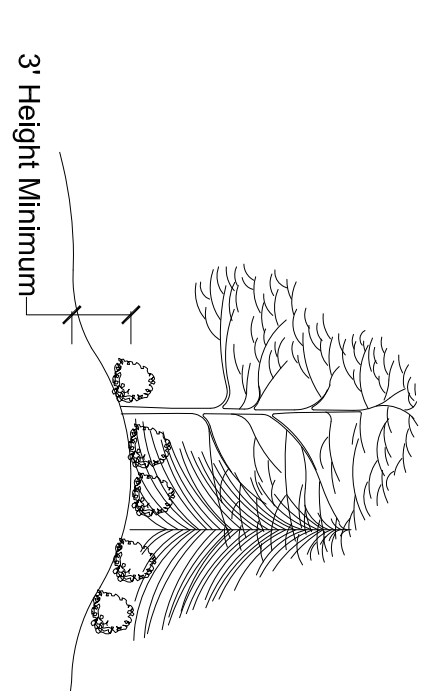


DEVELOPMENT DATA

TIA PARCEL NO. 06-125-14
 EAS. PARCEL NO. 06-125-14
 ZONING JURISDICTION: CITY OF MONROE
 SITE ADDRESS: 2865 AC
 DENSITY PROPOSED: 2.89 DU/AC
 CO. SURF. AREA: 2865 AC
 AGRI. AREA: 2865 AC
 PROPOSED DETACHED LOT DATA:
 MIN. LOT SIZE = 6,000 SF
 MIN. SIDE YARD = 20'
 MIN. SETBACK = 20'
 MIN. REAR YARD = 50'

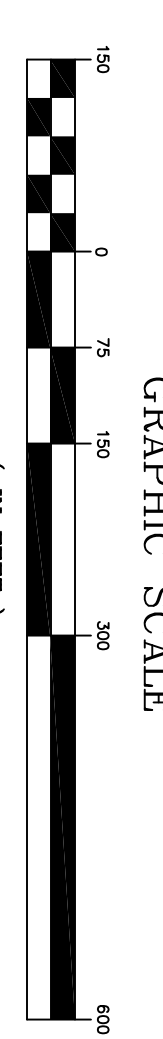
LEGEND

- EXISTING PAVEMENT/CONC.
- PROPOSED PAVEMENT/CONC.
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PERIMETER BUFFER
- PERIMETER BUFFER
- PROPOSED IMP
- WETLAND (APPROXIMATE)



3' Height Minimum -
 Buffer Along Hwy 601 and White Store Road
 Buffer to consist of a three foot high minimum berm with a planting mixture of deciduous and canopy trees.

Notes:
 Property boundary shown was taken from a survey by Eagle Engineering.
 Topographic data shown was taken from Lidar and is approximate. No field run topo, wetlands, or stream was completed for this project.



GRAPHIC SCALE
 (IN FEET)
 1 inch = 150 ft.

- General Site Plan Notes**
- 1) This is an age targeted development.
 - 2) All road within the development will be public right-of-way.
 - 3) Each dwelling to have a two (2) car garage (20 X20'). Garages to be front loaded or courtyard style.
 - 4) All driveways shall be concrete from the street to the garage capable of accommodating 2 vehicles.
 - 5) All front load and courtyard style garages shall use carriage style doors. The carriage door design must be submitted as part of the elevation package for the conditional district review.
 - 6) Any home built on a mono slab foundation should have a minimum two course brick masonry veneer skirt (of standard brick size) extending up the face of the slab.
 - 7) Exterior building materials to be limited to a mix of fiber cement, stone, stucco and/or brick materials.
 - 8) The front wall of all houses shall not run unbroken (unarticulated) for a distance of more than 24 linear feet.
 - 9) The majority of all roof areas shall have a 6/12 pitch.
 - 10) The roofs of all homes shall be finished with architectural shingles.
 - 11) The minimum heated square footage of each house will be 1,425 SF.
 - 12) All elevations, packages, or other supplemental material submitted to staff, planning board, and/or City Council in reference and support of any conditional district shall be regarded as an integral element of the approved site plan; minor deviations from submitted material shall be allowed at the discretion of the planning board director or their designee.
 - 13) All homes to have sodded front yards prior to issuance of Certificate of Occupancy.
 - 14) Each home shall have at least 1 front yard tree, suitable for healthy growth in our climate. Each tree shall have a minimum caliper of 1-1/2" measured 6 inches above grade.
 - 15) Street trees shall be provided at a rate of 1 per lot with a minimum caliper of 1-1/2" measured 6 inches above grade. Street trees should be a variety of species.
 - 16) All landscaping shall be kept in a thriving condition.
 - 17) Water and sewer will be provided by the City of Monroe through the extension of existing utilities.
 - 18) Sign regulations for this property shall adhere to the residential sign requirements.
 - 19) 5' sidewalk to be provided along the road frontage of US 601 and White Store Road.
 - 20) Interior sidewalks to be provided on both sides of the proposed subdivision streets.
 - 21) Amenity area to consist of a pavilion, picnic tables, fire pits, and grilling area.
 - 22) Commencement of the amenity area to begin no later than 50% of the CO's being issued.

TIA Recommendations NCCDOT review comments

White Store Rd and Access #1
 While no exact dimension is provided it appears that this access point is approximately 500' from US 601. At this spacing we are willing to allow a full movement access provided there is a left turn lane built and our sight distance requirements are met. If both of these are not achieved then the access will have to be limited to RI/RO by use of a concrete median.

US 601 and Access #2
 If this access is going to be RI/RO than it should be restricted by the use of a concrete median island on US 601. This median island should extend at least 100' past the end of each radius and not interfere with either access to the gas station opposite of this development.

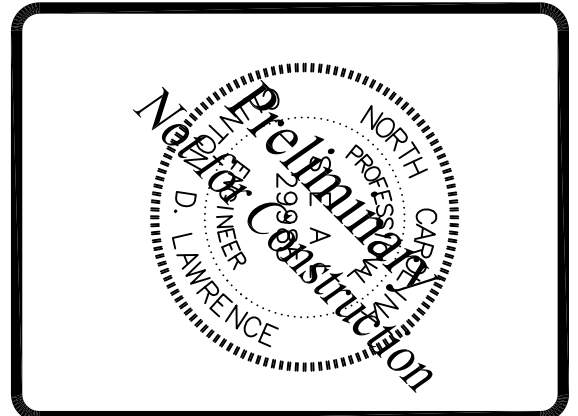
NO.	DATE	BY	ISSUE
1)	08/22/17	CDL	ADDRESSED TRC COMMENTS
2)	09/20/17	CDL	ADDED SIDEWALK ALONG WHITE STORE ROAD NOTE AND INCREASED MIN SF

**Conditional District
 Oakton Subdivision**

Applicant:
 Mr. DA Davis
 Palmetto RTC, LLC
 PO Box 5405
 Hilton Head, SC 29938
 704-361-4441

LAWRENCE ASSOCIATES

106 W. Jefferson St.
 Monroe, North Carolina 28112
 P 704-289-1013 F 704-283-9035
 www.lawrencesurveying.com



DESIGNED BY		DRAWN BY		CHECKED BY	
JLH		JLH		CDL	
SCALE		DATE		JOB NUMBER	
1" = 150'		05/25/17		4505	

CU-10