

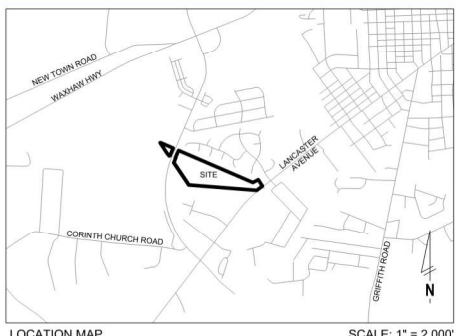
SITE PLAN CONDITIONS:

- GENERAL NOTES:**
1. THE DEVELOPMENT DEPICTED ON THIS REZONING PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE AND, SUBJECT TO THE TERMS OF THESE DEVELOPMENT STANDARDS AND REGULATIONS, IS SUBJECT TO MINOR ALTERATIONS OR MODIFICATIONS DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES.
 2. FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE TOWN OWNER OR OWNERS OF THE SITE. ALTERATIONS TO THE REZONING PLAN ARE SUBJECT TO APPROVAL BY THE PLANNING DIRECTOR OR HER/HIS DEPUTY.
 3. ALL WATER AND SEWER DESIGN AND INSTALLATION IS SUBJECT TO CITY OF MONROE ORDINANCES, POLICIES AND STANDARDS. ALL FACILITIES SHALL BE DESIGNED IN ACCORDANCE WITH THE WATER RESOURCES DEPARTMENT STANDARD SPECIFICATIONS AND GUIDELINES BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA.
 4. SITE-SPECIFIC STORMWATER MANAGEMENT REQUIREMENTS IN ACCORDANCE WITH CHAPTER 235 STORMWATER MANAGEMENT ORDINANCE OF THE MONROE CITY CODE.
 5. THE LOCATION, SIZE AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT NECESSARILY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND ACTUAL SITE CHARACTERISTICS.
 6. ANY VARIANCES FROM THE CITY OF MONROE'S STANDARDS SPECIFICATIONS A DETAIL MANUAL SHOULD BE SUBMITTED IN WRITING TO THE DIRECTOR OF ENGINEERING AS PART OF THE CONDITIONAL DISTRICT PROCESS TO AVOID DELAYS IN PLAN APPROVALS. REQUESTS MUST STATE VARIANCE REQUEST AND SUBSTANTIATED REASON FOR VARIANCE.

TRANSPORTATION:

1. INTERNAL ROADS ARE 50' RIGHT-OF-WAY AND ARE TO BE PUBLICLY OWNED, OPERATED AND MAINTAINED BY THE CITY OF MONROE.
2. ALL INTERNAL STREETS WILL HAVE A 4' FOOT (5') MINIMUM SIDEWALK INSTALLED ON BOTH SIDES OF STREETS. SIDEWALK WILL BE LOCATED WITHIN RIGHTS-OF-WAY OR WILL BE PROVIDED WITH A SIDEWALK EASEMENT AT LEAST TWO (2) FEET OUTSIDE OF THE SIDEWALK TO ALLOW FOR FUTURE MAINTENANCE BY THE CITY OF MONROE.
3. ALL WORKERS SHALL HAVE TWO (2) CAR GARAGES.
4. TWO PARKING SPACES (INCLUDES OF GARAGE, AND OUTSIDE THE RIGHT-OF-WAY WILL BE PROVIDED FOR EACH HOME.
5. EACH HOME SHALL BE PROVIDED WITH AT MINIMUM A PAVED DRIVEWAY.
6. A TRAFFIC IMPACT ANALYSIS HAS BEEN PREPARED FOR THE SITE AND RECOMMENDATIONS FROM THE REPORT WILL BE ADOPTED AS PART OF CONSTRUCTION PLAN SUBMITTAL. ALL OFFSITE ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH NCODT STANDARDS, INITIAL TRANSPORTATION IMPROVEMENTS INCLUDE:
 - LANCASTER AVENUE.
 - NORTH HILL LANE PROJECT SITE.
 - SITE DISTANCE, SITE TRIANGLES, CURB AND GUTTER, INTERNAL ACCESS RAMP AND OTHER REQUIRED CITY OF MONROE AND NCODT DETAILS WILL BE SHOWN AND PROVIDED AS PART OF CONSTRUCTION PLAN APPROVAL. DRIVEWAYS WILL NOT BE LOCATED WITHIN SITE.

- ENVIRONMENTAL LANDSCAPE:**
1. ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
 2. FRONT YARDS OF ALL SINGLE FAMILY HOMES SHALL BE SOLOED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 3. COMMENCEMENT OF THE AMENITY AREA SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATE OF OCCUPANCIES ISSUED.
 4. THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, STORMWATER AREAS, ETC.
 5. AMENITIES AREAS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING EXAMPLES AS PER SECTION 8.3.3 (C):
 - 5.1. SMALL AMENITY AREAS: POCKET PARKS, SEATING AREAS WITH BENCHES
 - 5.2. MEDIUM AMENITY AREAS: PLAYGROUND, COMMON GREEN AREA, RECREATION PLAY AREA
 - 5.3. LARGE AMENITY AREAS: NEIGHBORHOOD TRAILS, NEIGHBORHOOD PARKS) AND SHALL PROVIDE ONE OF THE FOLLOWING:
 - GOLFERS, HARDSCAPE AREAS SUCH AS PARKER SEATING AREA OR SUN SHADE
 6. FINAL AMENITY PROGRAM TO BE DETERMINED AT TIME OF CONSTRUCTION PLAN SUBMITTAL.
 7. WALKING TRAILS SHALL BE CONSTRUCTED OF CONCRETE, ASPHALT OR EQUIVALENT INDUSTRY STANDARD HARDSCAPE ALTERNATIVE. TRAIL WILL NOT BE CONSTRUCTED OF MUD OR DIRT. EXACT TRAIL LOCATION WILL BE DETERMINED AT TIME OF CONSTRUCTION AND WILL BE NOTED TO AVOID TREES TO BE PRESERVED.
 8. TREES MEASURING 75" CIRCUMFERENCE IN PERIMETER BUFFERS SHALL BE PRESERVED. TREES MEASURING 75" IN CIRCUMFERENCE IN REQUIRED OPEN SPACE AREAS SHALL BE PRESERVED AND IF REMOVED, SHALL BE REPLACED. MITIGATION MEASURES SHALL INCLUDE PLANTING 1" STREET TREE AND 3" AND TREE PER LOT, WITH ONE ADDITIONAL STREET TREE FOR EACH CORNER LOT. PLANTED TREES SHALL BE 3" CALIPER AT TIME OF PLANTING.
- SOILS:**
1. ALL SIGNS ONSITE SHALL ADHERE TO THE RESIDENTIAL SIGN STANDARDS.
- LIGHTING:**
1. STREET LIGHTING FOR THE INTERNAL STREETS WILL BE PROVIDED AT TIME OF CONSTRUCTION.



SITE STATISTICS

PROPERTY DESCRIPTION	2024 LANCASTER AVENUE MONROE, NC
TOTAL PROPERTY AREA	05211009A, 05211009 B, 05211009 C
PROPOSED ZONING	R2D, R4D
TYPICAL LOT SIZE / NUMBER OF LOTS	PLD
	25
	42
	19
TOTAL	86
PROPOSED DENSITY	1.96 UNITS/ACRE
MAXIMUM DENSITY ALLOWED:	6 UNITS/ACRE
BUILDING SETBACKS:	20' FRONT
	7' SIDE
	10' CORNER SIDE
	20' REAR
MAXIMUM BUILDING HEIGHT:	2-STORIES OR 35 FEET
REQUIRED OPEN SPACE:	15.3% ACRES (20%)
	2 SMALL OPEN SPACES
	3 MEDIUM OPEN SPACES
	1 LARGE OPEN SPACE
PROVIDED OPEN SPACE:	22.2% ACRES (26.6%)
STREAM BUFFERS:	7.2% ACRES AREA IN (BMP) (9.2% OF OPEN SPACE)
	4.7 ACRES
	1.3 ACRES
	1.5 ACRE (OUTSIDE STREAM BUFFER)

DRAWING COMPONENTS

- ZONING, TOPOGRAPHY, PROPERTY LINE INFORMATION FROM LUNION COUNTY GIS
- PROPERTY SETBACKS FROM CITY OF MONROE ZONING ORDINANCE
- BOUNDARY SURVEY PROVIDED BY METROLAND LAND SURVEYING, INC DATED 7-13-2022
- WETLAND INFORMATION PROVIDED BY WETLAND & WATERS, INC DATED 6-23-2022

