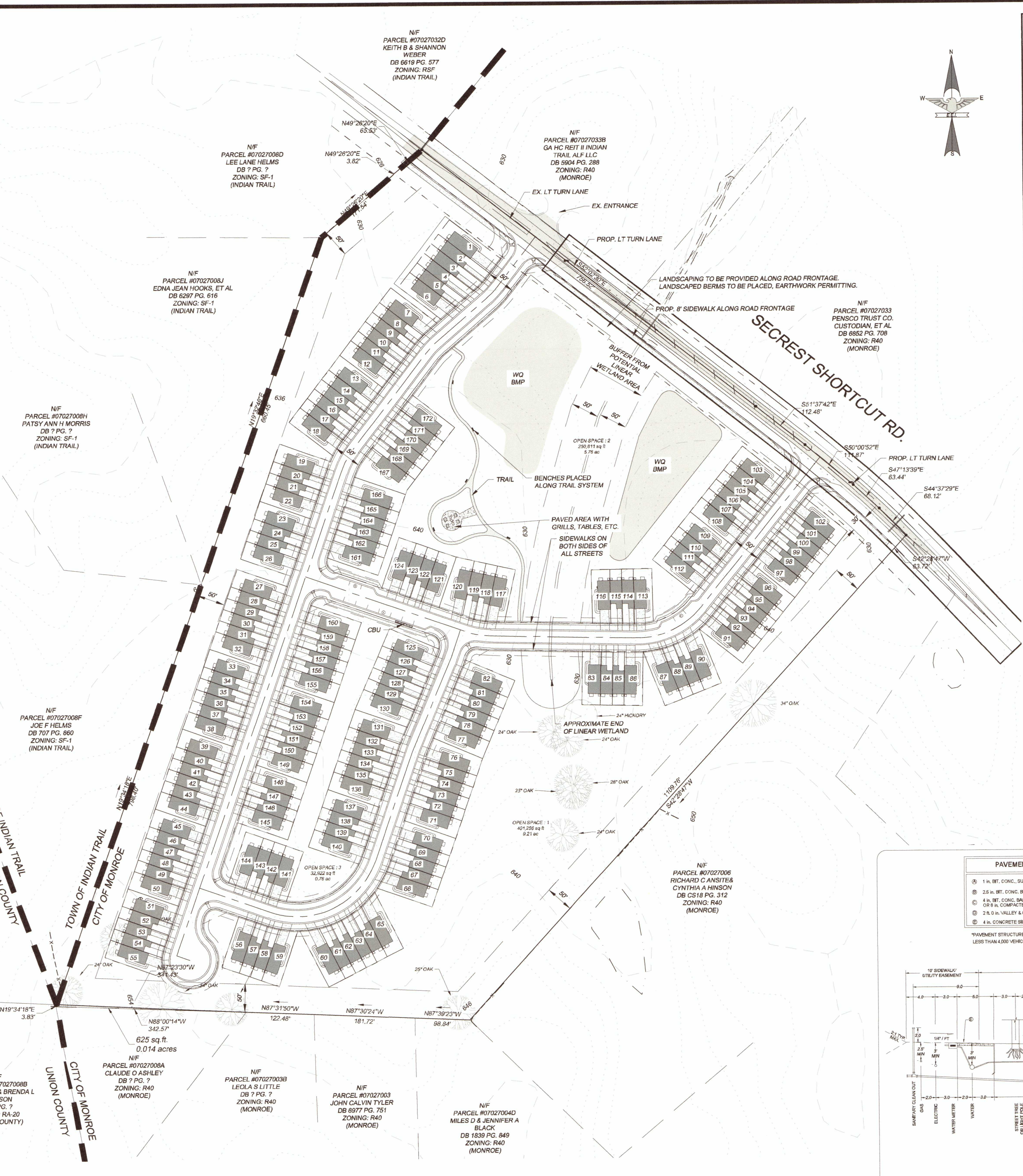
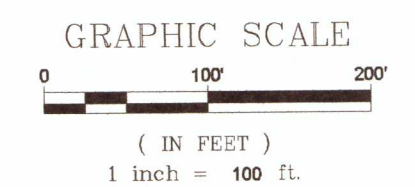


VICINITY MAP
NTS

- SITE DEVELOPMENT NOTES**
- PROPOSED REZONING FROM R-40 TO CONDITIONAL DISTRICT "SECRET LANDING".
 - ROADS WILL BE PUBLIC STREETS CONSTRUCTED IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
 - SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
 - ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
 - ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
 - TREES WITHIN THE DEVELOPMENT THAT ARE 75' OR GREATER IN CIRCUMFERENCE WILL BE PRESERVED AND WILL NOT BE REMOVED TO THE EXTENT PRACTICAL.
 - TREES WITHIN THE DEVELOPMENT THAT ARE 25' OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORM WATER MANAGEMENT FEATURE, OR STORM OR UTILITY EASEMENT.
 - DEVELOPER RESERVES THE RIGHT TO REMOVE SICK OR DAMAGED TREES AT DEVELOPER'S DISCRETION.
 - SETBACK MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR WALL DIMENSION AT THE FOUNDATION. ARCHITECTURAL FEATURES (INCLUDING BUT NOT LIMITED TO OVERHANGS, STOOPS, EAVES, AND SOFFITS) AND MECHANICAL UNITS MAY PROJECT INTO SETBACKS.
 - ACCESSORY STRUCTURES SHALL NOT BE LOCATED BEYOND THE FRONT CORNER OF THE HOME, AND SHALL MAINTAIN A MINIMUM FIVE FOOT (5') SETBACK FROM ALL PROPERTY LINES. ACCESSORY STRUCTURES SHALL NOT BE LOCATED WITHIN PUBLIC EASEMENTS.
 - LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
 - HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.
- ATTACHED SINGLE FAMILY HOMES (TOWNHOMES):**
- A MIX OF MATERIALS, AS SHOWN ON THE SUBMITTED BUILDING ELEVATIONS, INCLUDING FRESH CEMENT, STONE, STUCCO, OR BRICK, IN ALL CASES, VINYL MAY BE USED FOR TRIM WORK ONLY, INCLUDING SOFFITS.
 - MINIMUM HOUSE SIZE SHALL BE 1,300 SF.
 - STREET TREES SHALL BE PROVIDED AT A RATE OF 3 PER BUILDING WITH A CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
 - EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
 - ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
 - ALL INTERIOR UNITS SHALL HAVE A STANDARD ONE CAR ATTACHED GARAGE (MINIMUM) AND END UNITS SHALL HAVE A STANDARD TWO CAR ATTACHED GARAGE.
 - THE FRONT WALL OF ALL BUILDINGS SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. GARAGE DOORS, DOORS, WINDOWS AND A MIX OF MATERIALS SHALL CONSTITUTE ARTICULATION.
 - ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEER CONSISTENT WITH THE ARCHITECTURE.
 - FRONT LAWNS OF EACH BUILDING SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL FRONT LOAD GARAGES SHALL HAVE CARRIAGE STYLE TRIM AND/OR HARDWARE THAT MIMICS CARRIAGE STYLE DOORS.



SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF MONROE
TAX PARCEL(S)	07027007, & 07027007A
SITE ADDRESS	5303 SECRET SHORTCUT ROAD
ZONING	R-40
PROPOSED ZONING	CONDITIONAL DISTRICT "SECRET LANDING"
USE CLASSIFICATION	SINGLE FAMILY RESIDENTIAL
TOTAL AREA	30.48 ACRES
TOTAL UNITS PROPOSED	172
PROPOSED PROJECT DENSITY	5.64 UNITS PER ACRE
AREA IN LOTS	10.05 AC
COMMON AREA	15.73 AC.
RIGHT-OF-WAY	3.8AC. (CITY OF MONROE)
RIGHT-OF-WAY	0.9 AC ± (NCDOT)
MINIMUM FRONT SETBACK	20'
MINIMUM SIDE SETBACK (TOWNHOME END UNITS)	10'
MINIMUM REAR SETBACK	15'
MINIMUM LOT SIZE	2,050 SQ. FT. (SF)
MINIMUM LOT WIDTH	21'



150-302 IMPERVIOUS SURFACE REQUIREMENTS

(A) SETBACK REQUIREMENT

ALL IMPERVIOUS SURFACES, EXCEPT FOR ROADS, PATHS, AND WATER DEPENDENT STRUCTURES, SHALL BE LOCATED AT LEAST 35 FEET LANDWARD OF ALL PERENNIAL AND INTERMITTENT SURFACE WATERS. DEVELOPMENT APPROVED IN CONJUNCTION WITH A CONDITIONAL ZONING DISTRICT OR SPECIAL USE PERMIT SHALL HAVE AN IMPERVIOUS SURFACE SETBACK OF 50 FEET LANDWARD OF ALL PERENNIAL OR INTERMITTENT SURFACE WATERS.

A PERENNIAL OR INTERMITTENT SURFACE WATER SHALL BE DEEMED PRESENT IF THE FEATURE IS SHOWN ON EITHER THE MOST RECENT VERSION OF THE SOIL SURVEY MAP PREPARED BY THE NATURAL RESOURCES CONSERVATION SERVICE OF THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) OR THE MOST RECENT COMPLETE VERSION OF THE 1:24,000 SCALE (7.5 MINUTE) QUADRANGLE TOPOGRAPHIC MAPS PREPARED BY THE UNITED STATES GEOLOGIC SURVEY (USGS). AN EXCEPTION TO THIS REQUIREMENT MAY BE ALLOWED WHEN SURFACE WATERS ARE NOT PRESENT IN ACCORDANCE WITH THE PROVISIONS OF 15A N.C. § 28-223 (3)(A) OR SIMILAR SITE-SPECIFIC DETERMINATION MADE USING DIVISION-APPROVED METHODOLOGY.

WETLANDS SHOWN HEREON ARE TAKEN FROM A PRELIMINARY STUDY PERFORMED BY WETLANDS & WATERS AND ARE APPROXIMATE REGARDING LOCATION, DIMENSIONS OR ORIENTATION.

US ARMY CORPS OF ENGINEERS AND NCDOT PERMITS RELATED TO WETLANDS WILL BE SECURED AS MAY BE REQUIRED PRIOR TO GRADING ACTIVITIES.

GRAPHIC SCALE
0 100' 200'
1 inch = 100 feet

150-302 IMPERVIOUS SURFACE REQUIREMENTS

IN ANY AREA THAT IS LOCATED OUTSIDE A DESIGNATED FLOODPLAIN BUT WHERE A STREAM IS LOCATED, NO BUILDING OR FILL MAY BE LOCATED WITHIN A DISTANCE OF THE STREAM BANK EQUAL TO FIVE TIMES THE WIDTH OF THE STREAM AT THE TOP OF THE BANK OR 35 FEET ON EACH SIDE, WHICHEVER IS GREATER.

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(A) SETBACK REQUIREMENT

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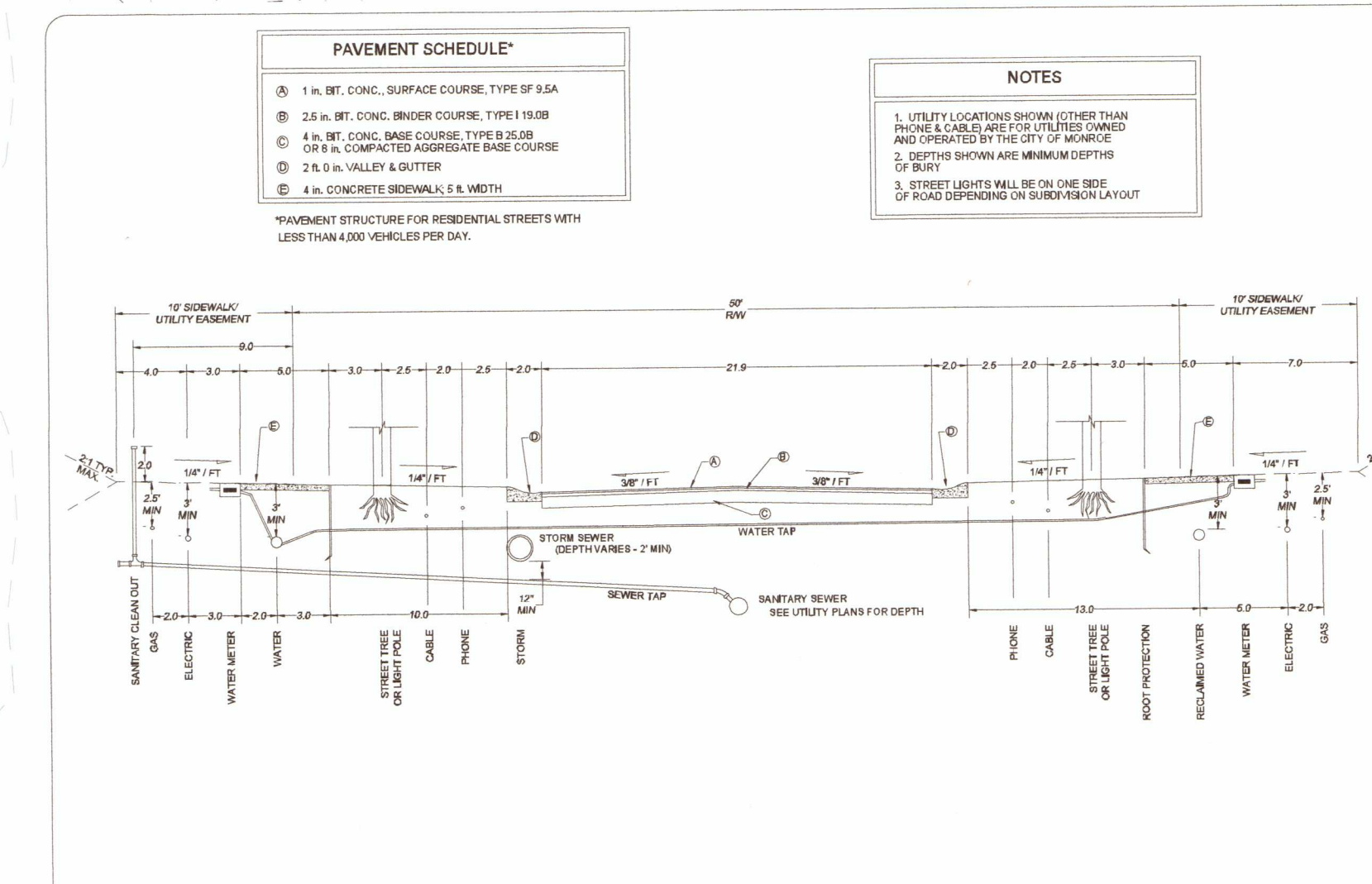
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PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE: *Richard C. Anstie*
DATE: 6/3/20

On behalf of
M/I Homes of
Charlotte, LLC



NO.	DATE	DESCRIPTION
1	4/20/20	PRELIMINARY
2	4/20/20	REVISIONS FOR SUBMITTAL
3	5/20/20	REVISIONS FOR SUBMITTAL

RESIDENTIAL STREET WITH STREET TREES FOR 30' R/W (1 of 2)

CITY OF MONROE
ENGINEERING DEPARTMENT

FILE: I-Map-Details-Detail-Mass-Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N/A



NO.	DATE	BY	ISSUE
1	11/20/19	JHR	ISSUE CITY PLANNING STAFF REVIEW COMMENTS
2	02/19/20	JHR	ADDRESS CITY PLANNING STAFF REVIEW COMMENTS
3	05/14/20	JHR	REVISED PER CITY PLANNING BOARD

SECRET LANDING
MONROE, NC

MI HOMES
5350 77 CENTER DR., SUITE 100
CHARLOTTE, NC 28217

CONDITIONAL DISTRICT
"SECRET LANDING"

DESIGNED BY: KEEL
DRAWN BY: KEEL
CHECKED BY: JHR
DATE: 5/18/20
JOB NUMBER: 6870

PRELIMINARY
NOT FOR
CONSTRUCTION

RZ-1

APPROVED
By City Council 6-2-20